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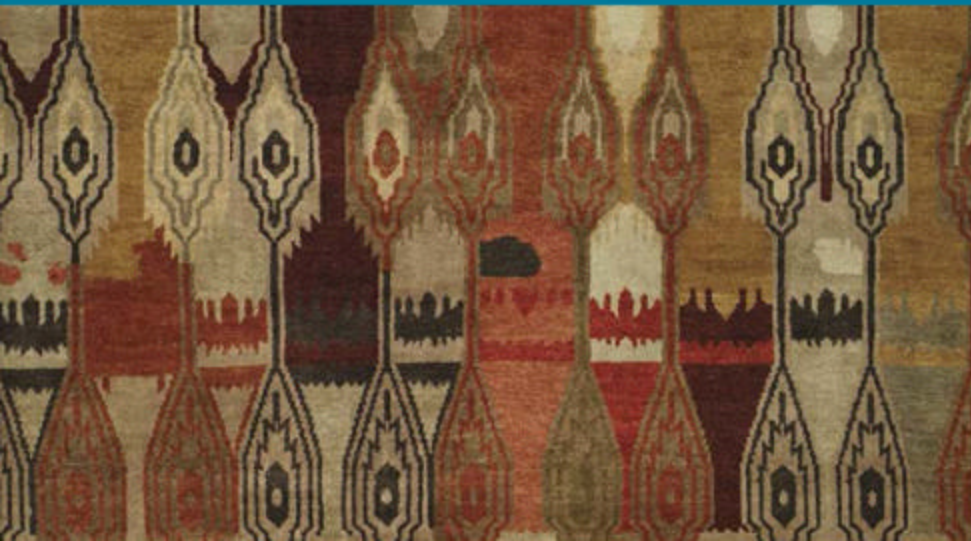
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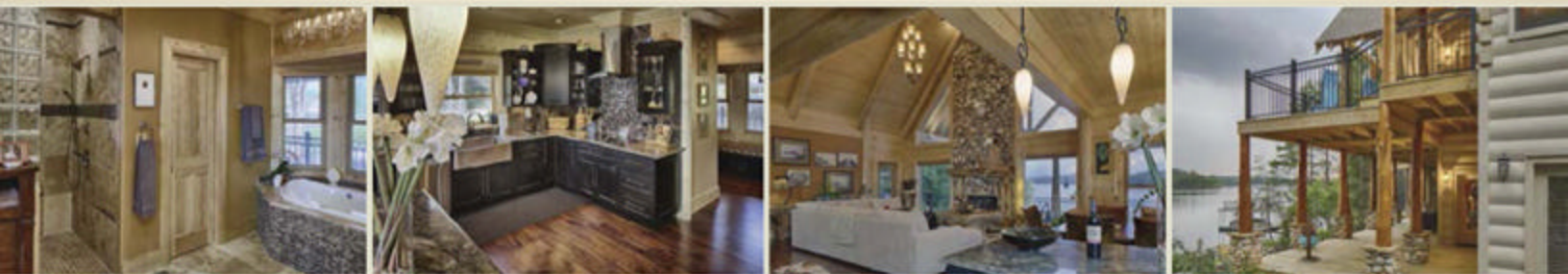
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An inviting porch highlights this home, shown on page 20.
PHOTO BY: Roger Wade

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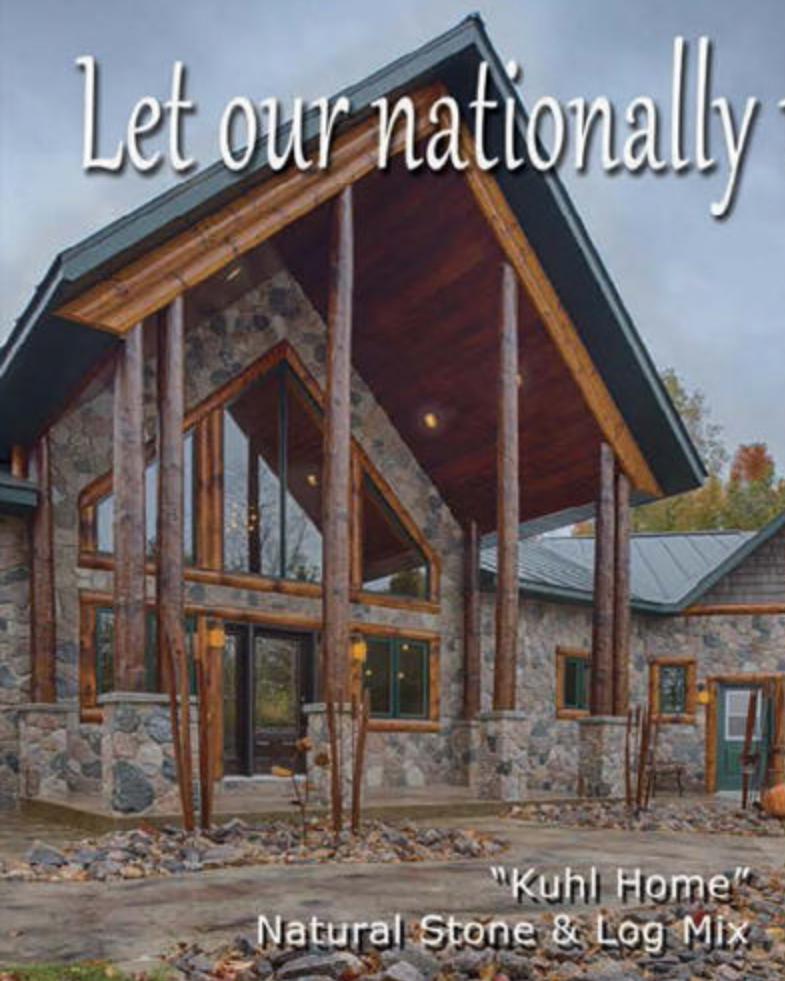
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TIMES CHANGE



Terry and Jan Price's home on page 30 brings back memories. I was editor of another log-home magazine — once there were four — when I interviewed Jan in summer 2001. She and Terry had lived in their log home for six years. They furnished it Country-style, with obvious taste. They embraced wood.

Inside and out, their home was a gem. It certainly merited a feature in the magazine, especially after Jan shared its story, including the time a tornado knocked over 12 mature trees all around them, but the only damage to the home was a blown-off roof shingle. Such sturdiness impressed the Prices. And me.

As the interview ended, Jan mentioned that she and Terry were moving to England. It was a job transfer, so they weren't sure for how long or what to do about the home they dreamed of, planned to perfection and built from scratch.

The article ran, the Prices moved, and I continued interviewing happy log-home owners. Hearing people's stories about their homes is the best part of my job, but after we've spoken, homeowners rarely get in touch again. Why would they?

So I felt strange, 13 years later, to be speaking with Jan Price. She and Terry ended up staying in England for 12 years, but they kept the home, moved back into it and made some big changes. Looking at pictures of it now, I agreed.

They changed not just the structure, but also the furnishings. Even though a lot of their original furniture was custom-made, the Prices swapped the Country look for Timeless European. Such a bold transformation might not have occurred if the Prices had stayed in the house all those years. They likely would've changed a little here and there at a time — nowhere near this clear overhaul. Its abruptness reveals a lesson, though: We change over time. So should our home.

It's perfectly OK to abandon a look you liked when you built your home. Especially if the alternative is to move.

You can't change your logs, though. So if, like Jan and Terry, your home is all logs, then change your furniture. You could just rearrange it, but, if you recognize that no matter where you move things, they still seem out of place and out of date, then shop for a whole new look.

The Prices made sure their home kept up with them. I forgot to ask if they saved the lone roof shingle from that tornado, but there are plenty of reminders of the years in England that mean so much to them. The greater lesson from their experience is that because people tend to live in log homes longer than in homes lacking such emotional investment, then your home can and should reflect the way you live now.

Roland

ROLAND SWEET

Editor-in-Chief

ASK THE EDITOR

What's with standing-dead logs?

Don't call the homicide squad. Or search YouTube for the movie "Night of the Standing Dead." They're just logs from trees that died but didn't fall over or get cut down. Whatever disease or insects killed them didn't affect the wood and is no longer a factor. Logcrafters in the West prefer standing-dead logs because they're plentiful and most of their natural moisture has evaporated, resulting in a very stable log. That's why they're sometimes called "dried-on-the-stump." But if the word "dead" worries you, remember that all house logs are dead wood.

Got a question you need answered? Ask away!

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A photograph of a rustic log home interior. The walls and ceiling are made of horizontal wooden planks. In the foreground, a wooden nightstand holds a lamp with a fringed shade and a small framed picture. A doorway in the background leads to another room, possibly a bathroom, where a wooden vanity and a stone sink are visible. The floor is made of wide wooden planks.

Stylish Slumber

A design trend that log homes have embraced is the master suite: bedroom, closet and bathroom. It may include or adjoin a sitting area. Some floor plans allocate a third to a half of the main-level square footage to the suite, turning it into a retreat. Size isn't the defining trait, however. Purpose is. When planning yours, think in terms of layout, looks, comfort and, of course, the logs.

Cowboy is a classic decor style for log homes, and it adds distinction to any bedroom. In this case, a rustic bed frame reinforces the look, which is charmingly accessorized to clearly establish the room's personality. Bedrooms are the one room in any home where you can feel totally free to be yourself and indulge your every whim.



Delightfully Light.

Most homeowners prefer their bedroom be on the main level, but some favor the upper level in order to assure a tall ceiling and panoramic views from windows. This room puts an overhead beam to decorative use.

James Ray Spahn photo

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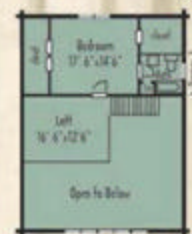
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JK Lawrence photo

1. Cozy Quarters. Drapes add both color and warmth, while allowing the homeowners to “turn off” the view from the French door that provides access to their private balcony. The room’s coziness is reinforced by the large, handcarfted logs and chinking.

2. Color Commentary. D-shape logs convey a contemporary look, which the squared ceiling timbers and painted drywall reinforce. The pine sleigh bed and pinecone-themed rug ground the decor. This is the master bedroom of the home featured on page 20.



Roger Wade photo



This cozy log cabin strays from the conventional with an angled entryway and a clerestory dormer window. Mixing rustic stone, beaver-toothed log corners and cedar character posts the exterior flows effortlessly with the slope of the lot. Just one of the many options for creating your ideal Mountain Style Home.

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James Ray Spahn photo

1. Great Awakenings. Designing a bedroom to take full advantage of a sensational view adds to its appeal, while the stone fireplace brings attention to the interior.

2. Toastie Toes. A simple but elegant bed provides a rustic touch that coordinates with the hewn-and-chinked wall logs. The fireplace adds romance and comfort.

3. Refined Rustic. A contemporary bed imports elegance to a spacious room, which is distinguished by rugged handcrafted logs for walls and ceiling purlins.



James Ray Spahn photo



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The Personal Touch

A couple modifies a standard floor plan to create their dream vacation home.

Having fallen in love with northern New Hampshire, Sam and Sophie Rosenfeld decided to look there for a simple vacation house they could settle into during their many sojourns to the Franconia area. On one house-hunting expedition, they came across two separate but adjacent

lots for sale, totaling 16 acres. The for-sale signs were barely visible, hidden by dense roadside brush. “We traipsed down an overgrown path and discovered a stunning view property, completely hidden from the road,” Sam recalls. “Sophie and I agreed immediately that we would give up our house search, purchase both lots and build a home of our own.”

story and styling by **DEBRA GRAHL** *photos by* **ROGER WADE**

LEFT: The inviting front porch spans the front of Sleepy Bear Lodge, which features 6-by-8-inch, D-style logs and a stylish metal roof. The owners enjoy sitting here to watch wildlife.



ABOVE: Timber trusses soar gracefully above the open great room, which affords mountain views. The birch coffee table and poplar side table are handmade.

OPPOSITE: Handmade table linens grace the farmhouse-style dining table. The ceramic tile floor contrasts with wide-plank, hand-scraped maple in the adjacent great room.

FOLLOWING PAGE: The kitchen's dark maple cabinets stand out against the log walls. The stepped cabinet design adds grandness.

Sam and Sophie felt the panoramic view deserved an equally magnificent house. They envisioned soaring ceilings, open spaces, a large observation deck and a wall of windows from which to enjoy the exceptional mountain and valley views.

During their initial search, they had seen some homes by Coventry Log Homes and “were awed by the craftsmanship, as well as the beauty and rustic charm of the logs,” Sophie says. The Rosenfelds contacted the company and explained

to sales rep Debbie Simano what they were looking for. “I knew I had just the house for them,” she recalls.

Simano showed the Rosenfelds one of Coventry’s Athens models. “We fell in love with the design of the home,” Sophie says. As they toured the home, the three of them discussed modifications, which Simano incorporated into the design. On the main level, a small hallway with utility closets was eliminated to open up the master bedroom suite and allow a spacious walk-in closet

and larger master bathroom. They added a mudroom between the garage and house for the laundry room and utility closet, and enlarged the foyer area to accommodate a large dining table set. An L-shaped window seat in the kitchen was also added, becoming the space-defining half-wall of the entry foyer. The views determined the home’s orientation, with the lofted great room’s rear wall of glass creating a seamless transition from the home’s interior to the great outdoors. “There were probably







seven or eight sets of revisions over the span of a few months,” Sam recalls.

The design is perfect for a getaway home or primary residence. It’s just over 2,000 square feet on the main level and loft, but the full walk-out basement can be finished into living space as well.

The Rosenfeld’s log package arrived in May 2013. Father-and-son builders Joe and Shane Fiore, who had built the Athens model that delighted the Rosenfelds, started the foundation in June, worked through the harsh New Hampshire winter and finished the home last February. “We had a very wet summer, which slowed down our site work a little,” Joe Fione says. “But Sam and Sophie were patient and thoroughly enjoyed the entire process. They had great ideas on different aspects of the design and construction of the house.”

Besides their plan modifications, Sophie suggested some distinctive design concepts: a tree-trunk pedestal sink in the half bath, a maple tree beam in the foyer and kitchen, and a red shingled wall overlooking the great room. “Although I am not a professional interior designer,” she notes, “I have always found enjoyment in decorating my living space, whether it be a small studio apartment in New York City, the houses my family and I have lived in over the last several years or our new log home in New Hampshire.”

Finishing their log home became Sophie’s full-time job, with the goal to achieve a masterpiece of collaboration between Coventry, the Fiore team and the homeowners. For two years, she collected and stored antique skis, toboggans, snowshoes, sleds, and other antique furniture pieces and decorative items. She also commissioned local artisans to create unique works of art and furnishings authentic to the log-cabin style. “To add a pop of color to the interior,” she says, “I had interior walls painted green, red, rust, cinnamon and dark beige, all colors of nature’s palette.”

Sophie and Sam also wanted to bring the outside in as much as possible. “Since the property is heavily wooded, we had our pick of trees to use as design elements in the house,” Sophie notes. “Several maple trees

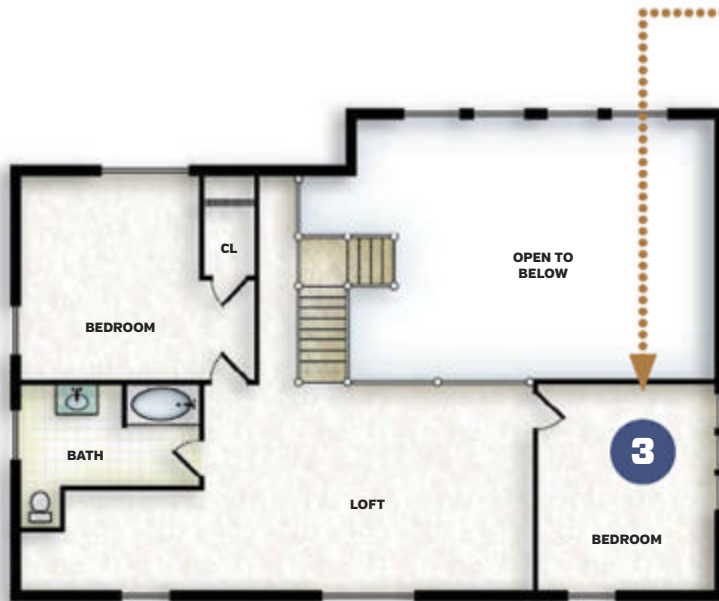


1



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floor plan

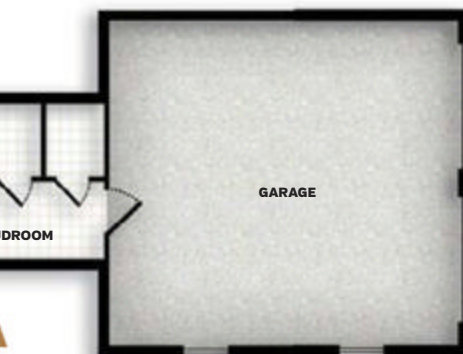


UPPER LEVEL

Stepped windows that echo the sloped ceiling bring a triangle of natural light into an upstairs guest bedroom, whose iron bed, braided area rug and vintage furniture add country charm.



MAIN LEVEL



The Rosenfelds added a mudroom to the floor plan, as well as a laundry room, a utility closet and a large coat closet originally designed for the foyer, which the move let them enlarge.



ABOVE: The upstairs loft separates two guest bedrooms and overlooks the great room. Sophie purchased the furnishings with an eye toward rustic log cabin style, noting, “It’s difficult not to go overboard on the bear motif. It’s called Sleepy Bear Lodge after all.”

OPPOSITE: Second-hand skis enjoy new life on the rear deck, whose Adirondack-style chairs and tables are custom made and create a setting perfect for enjoying the mountain scenery.

NOTE: THE MASTER BEDROOM FOR THIS HOME APPEARS ON PAGE 16.

were felled and hand-hewn, then used as support beams throughout the house. The upstairs bathroom vanity and fireplace mantel were also made from logs on our property.”

Several large boulders from the property were used to build retaining walls. Additional rock walls tie into them and the landscaping. “We incorporated the rock theme inside the house by building a cultured-stone fireplace chimney and faced the kitchen island with cultured stone as well,” Sam says. “We also included a natural stone motif in the tile design of the two showers.”

Sam and Sophie intend

the home to become their retirement home eventually. In the meantime, it’s their vacation home and where they escape the hectic pace of their everyday lives. “A sleepy bear is a resting, peaceful bear,” Sophie says. “We named our log home Sleepy Bear Lodge to acknowledge the sense of rest and peace we experience when we visit here.”

While they aren’t there, a local property management agency keeps an eye on the house and rents it out selectively, weekly or weekends. “Since we are not using the house all the time, we feel this is a good option for us,” Sam says. “The house is in great hands, and

the rental income covers the cabin’s monthly expenses.”

Sam and Sophie also entertain family and friends, who admire the home’s craftsmanship and experience the same enchantment with the magnificent views as the Rosenfelds did when they first stumbled upon the “hidden” property. “Unfortunately, my parents passed away several years ago, but they would be so very proud to see what we have built,” says Sophie, who lived in New Hampshire six years while growing up. “My parents called New Hampshire ‘God’s Country,’ and I am grateful that, because of them, I will always be connected to this very special place.” **L**



HOME DETAILS

Square Footage: 2,640

Log Provider & Designer:
Coventry Log Homes (800-308-7505, coventryloghomes.com)

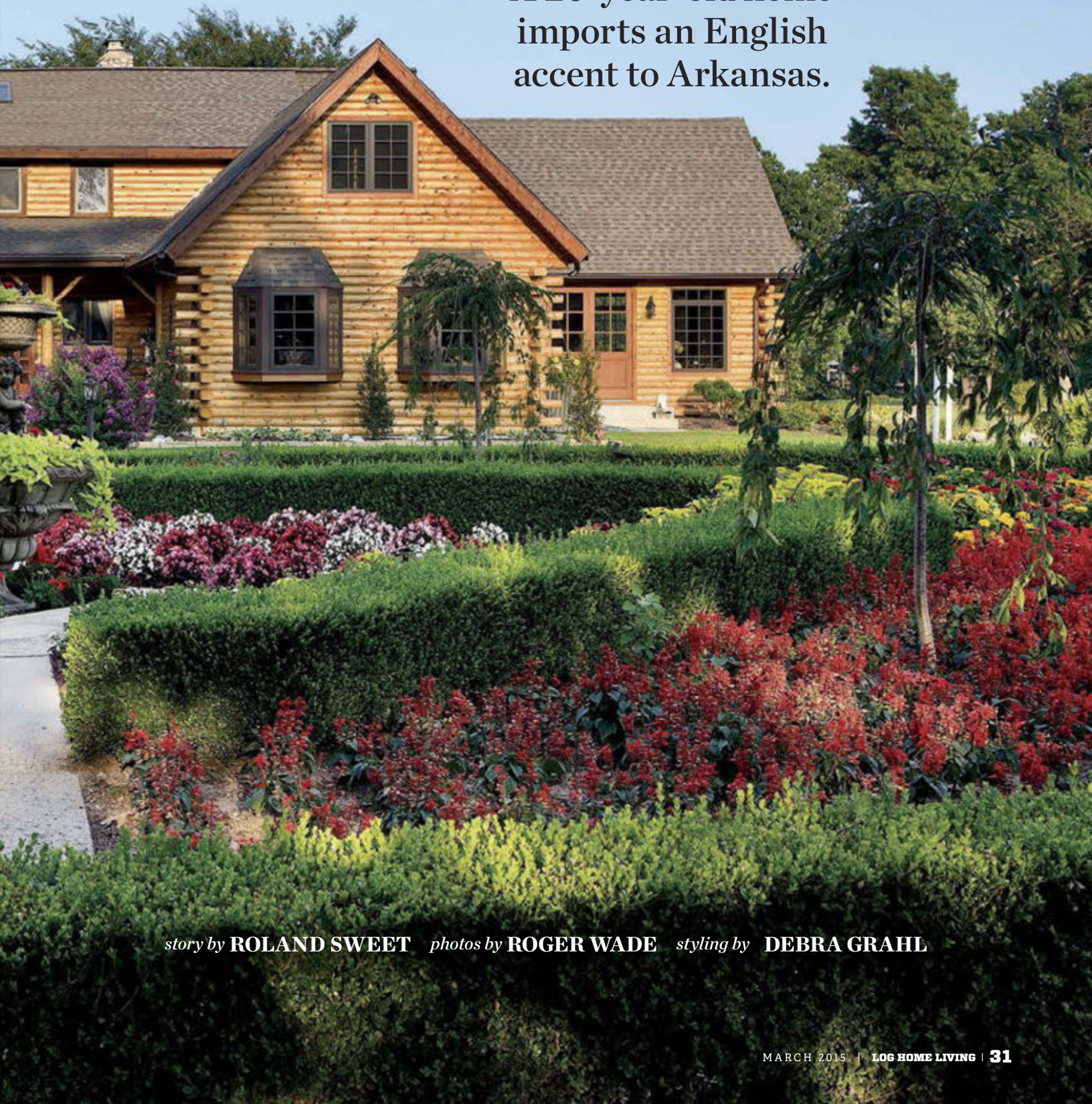
Builder: Joe and Shane Fiore
Builders (603-787-6449, email jsfiorebuilders@yahoo.com)

Terry and Jan Price added 3,000 square feet to their home, primarily by enlarging the master bedroom and including a sunroom off it. The new part added symmetry to the original L-shape, and they were able to find 6-inch logs that matched the originals.



Merrie Makeover

A 20-year-old home
imports an English
accent to Arkansas.



story by **ROLAND SWEET** photos by **ROGER WADE** styling by **DEBRA GRAHL**

Before



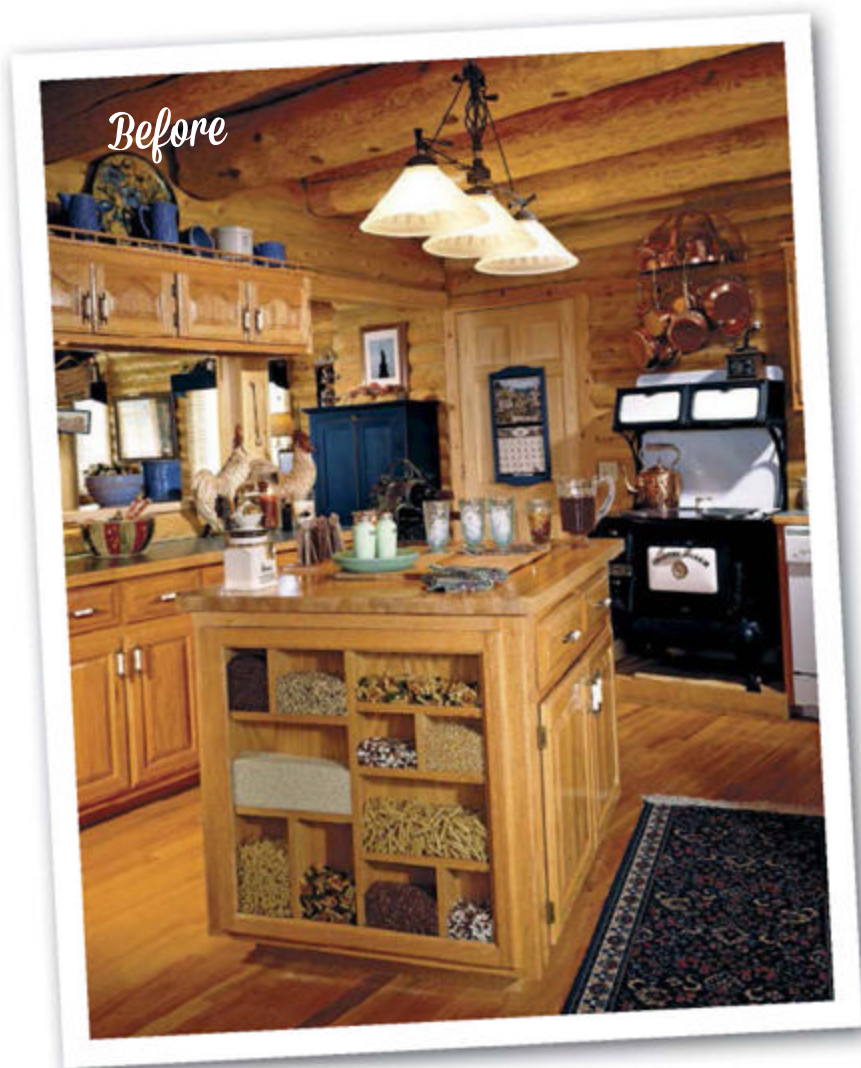
Before



The interior went from Country to Old World, inspired by the Prices' years abroad. Jan replaced most of the old furniture with colorfully upholstered pieces she says reminded her of those she'd seen in timeless English homes. Terry's caribou mount took the place of honor above the mantel, and the new antler chandelier reflects his love of hunting.







HOME DETAILS

Square Footage: 2,640

Log Provider: Satterwhite Log Homes (903-663-1729, satterwhite-log-homes.com)

Builder: Montgomery Construction (479-925-8574)

Painting existing cabinets gave the kitchen a whole new look, although the actual changes were modest. Jan was happy to swap their old stove for a new Aga cooker like one she used and loved in their home in England. A new lighting fixture was a more subtle change.

Not long after Terry and Jan Price moved into their new log home in northwest Arkansas, Terry was transferred to England. The couple spent 12 years abroad but held on to their stateside home. “We had opportunities to sell it,” Jan says, “but we felt we just wanted to keep it for when we came back. When we did, it was like we had been here all along.”

Even so, they brought fond memories of their time in England and wanted to incorporate reminders into their Arkansas home, as well as upgrade the structure itself to reflect how they now wanted to live. They undertook a major transformation. It began with an addition.

The Prices had built their five-bedroom home in 1995, using milled, 6-inch cedar logs. They loved the wood so much that they applied log siding to framed partition walls to provide a full-log look throughout. They even added character logs for more wood. After they moved in, Terry, an avid gardener, addressed the landscape, including building a pond to enhance the view of their 28 wooded acres. While they were in England, their son Kirk, who lives in a log home next door, cared for the place. The Prices visited summers and at Christmas, when their entire family would gather at the log home to celebrate.

After their overseas stint ended, Jan

and Terry returned with a new vision of their home. It included enlarging the master suite and attaching a sun-room. The couple also added new doors and windows. “We did a lot of things that were cosmetic, that just needed to change with the times,” Jan says, noting, “We did nothing to the house while we were away except to keep it maintained.”

The Wisconsin company that provided the original logs had long ago gone out of business, but the Prices found a perfect match for the addition from Satterwhite Log Homes in nearby Longview, Texas. Specialty builder Brooks Montgomery of Rogers, Arkansas, was able to match the new to





The Prices' new bedroom takes on an entirely new look, most noticeably the hand-carved bed from Romania that replaced their more modest custom frame. Structurally, the addition of a sunroom has turned the bedroom into a more striking inner sanctum. Television is banned, and the couple spends time relaxing or playing games with their grandchildren. The end chest and side tables came with the bed frame.



the old seamlessly.

Altogether, the home gained about 3,000 square feet. With more room to furnish, Jan and Terry set about updating the Country-style interior. While abroad, they had acquired furniture with their log home in mind. Much of it was custom-made. A standout example is an elaborate baronial bed, which they had hand-carved in Romania. They re-

turned to Arkansas with two shipping containers filled with furnishings to replace most of their existing items. "It put a whole new look on the house," Jan points out. "It's kind of an Old World look now. We figured we could make it work because there's so much about the rustic look that ties in to Old European."

The Prices also repainted and antiqued kitchen cabinets, attached new

hardware and installed new countertops. They replaced a reproduction vintage stove from the House of Webster with an Aga cooker like one Jan enjoyed using in England. It fits perfectly with the new kitchen look.

Terry's extensive landscaping centers on an English-style garden, which thrives in the Southern climate. "He tried to design it according to some of



the gardens we had in England to put a different flavor on an Arkansas home,” Jan says. “He made it look like we’ve lived here forever.”

Colorful plantings add vibrancy to the setting. That sense also pervades the interior, where Jan confidently added bolder splashes of red, especially for upholstery in the great room. “It really warms up the room,” she says. “We’ve

had people visit who’ve never seen the inside of a log home, and they say it just looks so cozy.”

As different as their furnishings might seem for a log home, the Prices made one concession to convention. They replaced their great room lighting fixture with an antler chandelier, to reflect Terry’s fondness for rustic touches and to tie in with the caribou

mount that now graces their Arkansas stone fireplace.

Jan and Terry were more than satisfied with their log home before they left for England. Their tastes evolved, however, and their home reflects that change. “We loved England and we love this home,” Jan says. “That’s why we decided, why not bring part of that to this house. The look is timeless.” **L**

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Joanne & Michael

40

GREAT VIEWS

The LeBlonds hope for a home in Colorado where they can live but also entertain, so they want plenty of room for all.



Coit & Terri

42

EASY ACCESS

The McDonalds have a sloping site but need plenty of room, so their ideal design would accommodate them on three levels.



Shirley & Dan

44

HOME TO SHARE

After finally buying the right land on a favorite lake, the Sheldons want a plan that takes advantage of the great view.

PLUS: An 11-page gallery of popular floor plans

A Retreat with Lake and Mountain Views



Joanne & Michael

While every home site is one-of-a-kind, Dr. Michael and Joanne LeBlond's piece of land in Colorado has a very distinct back story. It was once part of the grounds of a national park. Carved out of the park in the 1960s, the land features stunning views of two mountain lakes and the Continental Divide.

Why a log home: Michael has always admired log homes, and he and Joanne would like an authentic Adirondack lodge-type look for their home, so dark, skip-peeled logs would set the perfect backdrop.

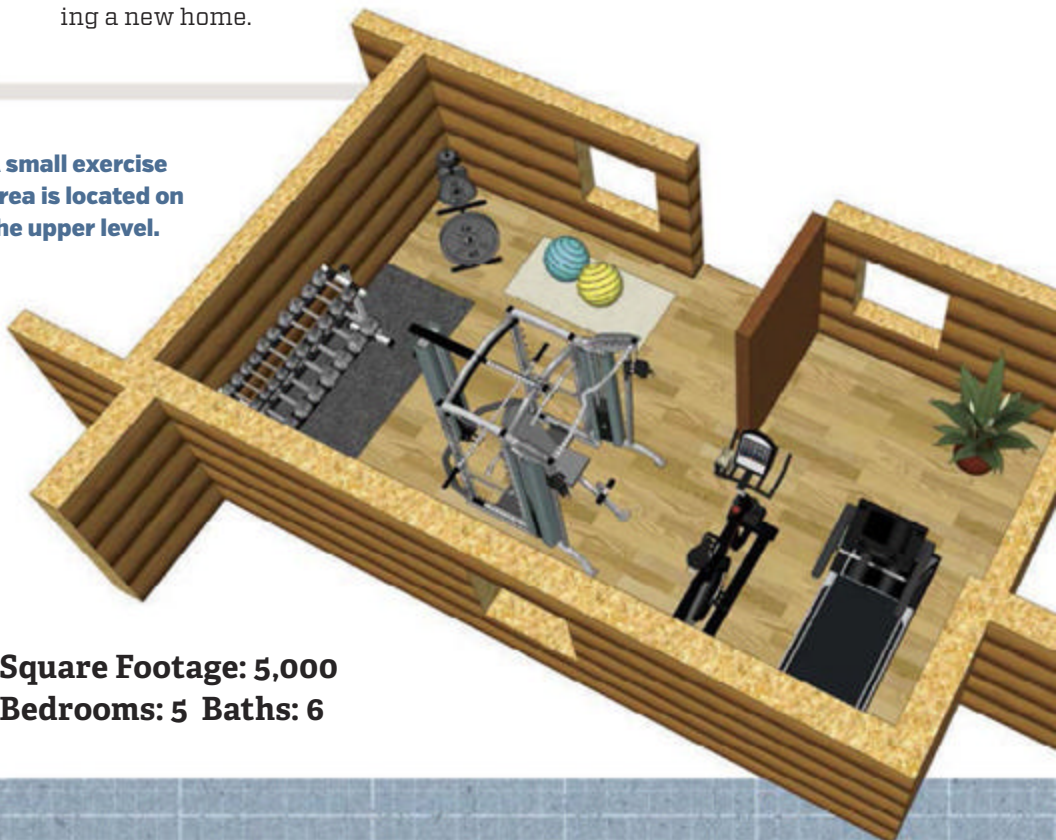
Most important features: The couple plan to both live in the home and use it as a base for entertaining, so the home needs to accommodate plenty of guests. A gourmet kitchen and dual office spaces are important. Making the home handicapped accessible would allow the couple to use it for a lifetime.

The Inside Scoop

When designing your dream log home, you may choose to work from a log-home company's stock plan, collaborate with a log-home company's design staff, or employ an independent architect or designer.

- **INDEPENDENT ARCHITECTS OR DESIGNERS TYPICALLY CHARGE A PERCENTAGE OF YOUR HOME'S COST.** In return for their fees, these designers deliver complete construction plans and specifications for your home. They may also research building codes in your area, solicit bids from log providers and builders, and help manage your project.
- **YOU SHOULD SHARE YOUR SECRETS.** Your architect or designer needs to know your building budget and how you truly intend living to make a home fit you perfectly. You may be asked to fill out a lengthy survey about your routines, family and lifestyle.
- **INVITE YOUR DESIGNER IN.** Designer Ken Pieper routinely visits building sites — and even his clients' current houses — when custom designing a new home.

A small exercise area is located on the upper level.



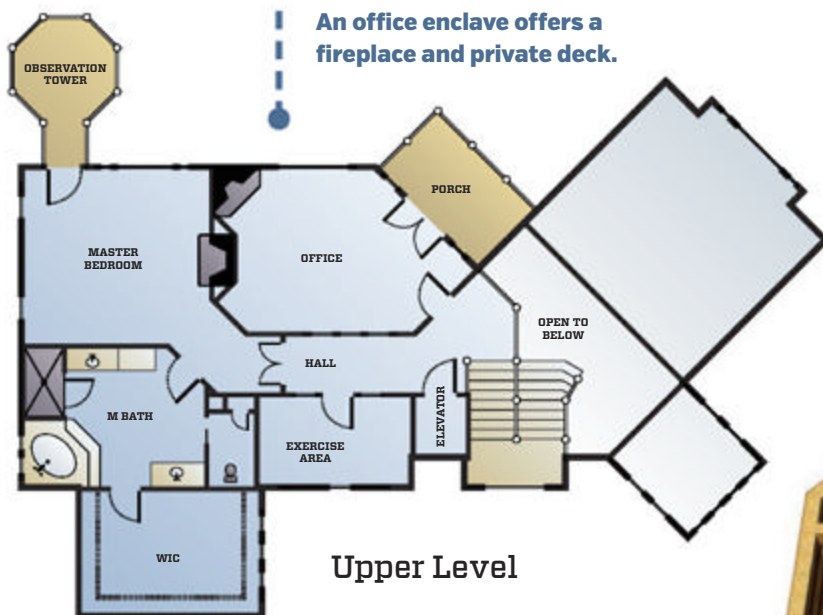
PLAN SPECS

Square Footage: 5,000
Bedrooms: 5 Baths: 6

An observation tower gives a bird's-eye view of the lake and mountains.

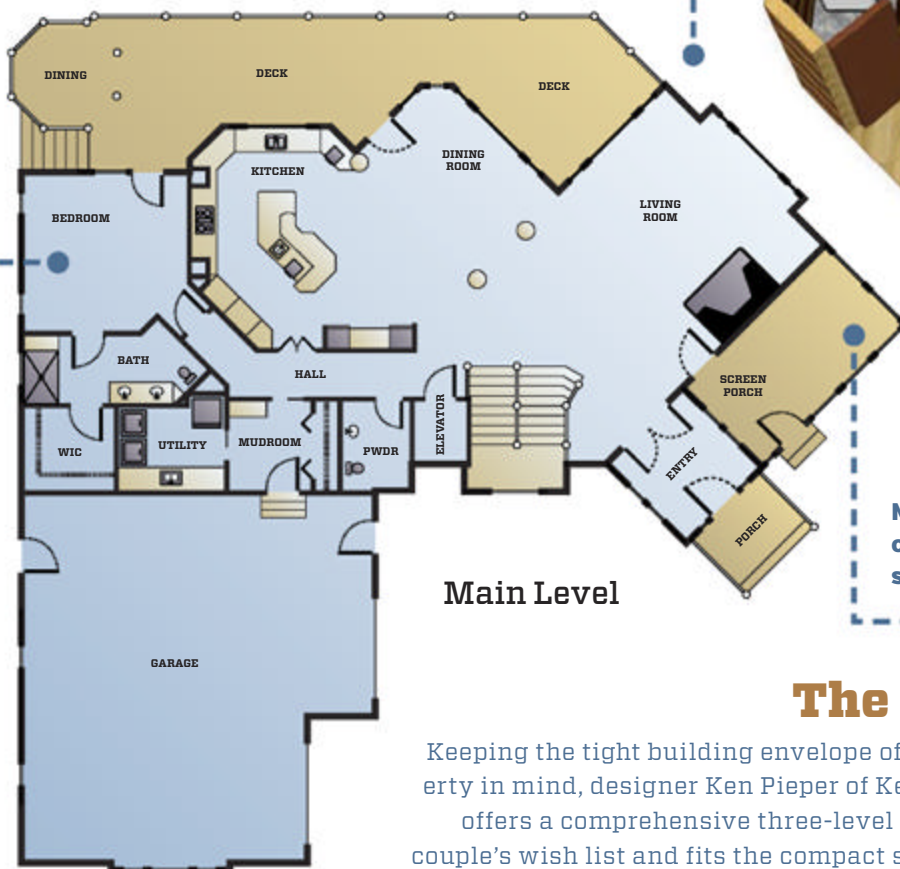
An office enclave offers a fireplace and private deck.

The kitchen features a large island.



Angled walls make the most of the view.

A mini-master bedroom on the first floor accommodates guests.



Main living room opens to a generous screened-in porch.

The Lowdown

Keeping the tight building envelope of the LeBlonds' property in mind, designer Ken Pieper of Ken Pieper Associates offers a comprehensive three-level plan that fulfills the couple's wish list and fits the compact site. "I always let the land define the shape of the house," Pieper says, "and let the client define what goes in it." For this home, angled walls in the main living areas frame views, and a three-story gazebo/observation tower provides panoramic vistas.



A Home That's Fully Accessible

Coit and Terri McDonald searched for a getaway spot within an easy drive of their home in Atlanta. They found a gated community – one with no snobbish pretensions – in the mountains of north Georgia and knew it would be a perfect spot for their eventual retirement.

Why a log home: Coit has loved the warm feeling of a wood home ever since he spent time in his grandparents' cabin as a boy.

Most important features: Terri is a fan of outdoor fireplaces. Because Coit uses a wheelchair, the home's hallways, bath and kitchens should feature universal design. With a gorgeous view of the valley from their site, the McDonalds specified plenty of space to enjoy outdoor living. Room for visiting family is important, too.



Coit & Terri

PLAN SPECS

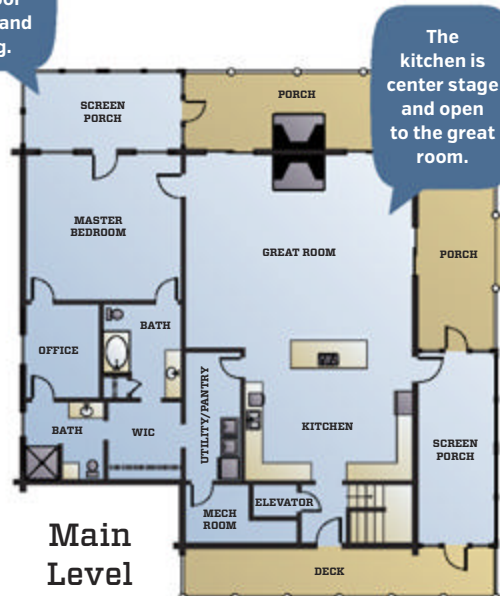
Square Footage: 5,000
(including basement)
Bedrooms: 3 **Baths:** 2



Upper Level

A loft makes a fun getaway for a grandchild.

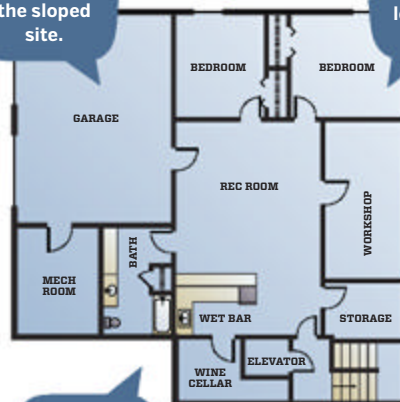
Screened-in porches allow for outdoor eating and living.



Main Level

The kitchen is center stage and open to the great room.

The lower-level garage is perfect for the sloped site.



Lower Level

Two guest bedrooms accommodate visitors on the lower level.

A wet bar and wine room are convenient to the recreation room.

The Inside Scoop

Planning a home that features universal design means it will be accessible and easy to live in for people of all abilities. Designer T.J. Whitworth suggests making all interior door openings at least 36 inches wide and all hallways at least 48 inches wide. Other things to consider in universal design include:

- Allow at least 60 inches of turn radius in the bathroom.
- Build decks and porches as close to flush to the level of the home as possible. Sloping the deck or porch floor away from the home slightly will ensure that rainwater won't pool near the house.
- Add code-compliant stairs, in addition to an elevator, to access any spaces that may be consistently used as bedrooms.
- On the walls, set light switches slightly lower and electrical outlets slightly higher than in conventional construction.

The Lowdown

The sloped site makes building “up” with three levels more cost-effective than building “out” as a large ranch. T.J. Whitworth, a designer with Gastineau Log Homes, details a three-bedroom plan that fills the McDonalds’ needs and takes advantage of their views. Porches and decks connect the indoors with the outside. An elevator lets Coit move from level to level.

The basement features a rec room with a web bar and wine cellar.



A Lakeside House to Share

For Dan Sheldon, spending time on Minnesota's Leech Lake is like coming home. He grew up in the area, so when a piece of property became available on the lakeshore, he and wife Shirley jumped on it. They would like to share their vacation home with family and friends.

Why a log home: Shirley has always wanted a log home, but she and Dan have agreed that half-log construction would allow them to use drywall in some of the areas of the home and alleviate any settling issues that full-log walls might present.

Most important features: The Sheldons would like a classic design for their log home, with enough space to accommodate guests. The design should take advantage of the couple's level lakefront site and capture views of the water.

PLAN SPECS

Square Footage: 5,600
Bedrooms: 4 **Baths:** 5.5

The Inside Scoop

Dan, like plenty of homeowners, has already put many ideas for his home on paper. He hopes his detailed drawings will help him communicate with his designer. If you plan to DIY your home design, keep these ideas in mind:

- **DESIGN PROS KNOW THE CODES.** Sometimes, Robare says, homeowners may not allow the prescribed amount of space for areas such as baths and laundry rooms.
- **KEEP AN OPEN MIND.** Your designer may suggest alternate ways to include your wish-list items in your finished home.
- **BE CLEAR ABOUT YOUR BUDGET.** The plans you've drawn up may break the bank in the "real world" of construction. Talk to your designer about how to stay within your budget, while maintaining the level of finishes and amenities you prefer, if possible.



Shirley & Dan



Peaked dormers add pleasing interruptions to the horizontal profile. Pointed windows bolster that look.



Apartment over the garage gives visitors complete privacy.

Upper Level

Half-bath in garage is convenient to those working or playing outdoors.

Screened-in porch off kitchen for easy outdoor dining.

Main Level

A bonus space on the upper level can be used as a bunkroom.

The Lowdown

In this plan, designed by Tim Robare of Hiawatha Log Homes, outdoor living space opens the home to the lake. A screened-in porch allows the Sheldons and their guests to eat outside without the hassle of insects. The design offers the couple plenty of space to entertain — and architectural flair.

Circular stairs make a big first impression.



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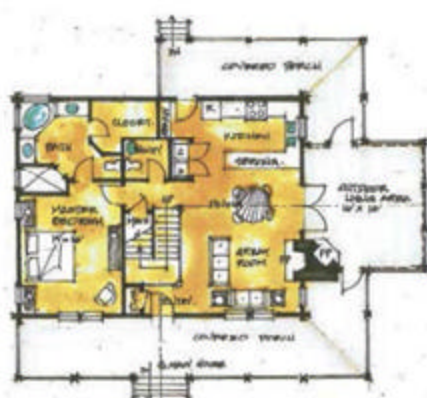
Cimarron Mountain Retreat

This classic Appalachian style home with an open, modern floor plan offers a first floor master suite with ample storage, loft area and two upstairs bedrooms complete the design. Spacious outdoor living area, with fireplace and two covered porches bring the great outdoors to every occasion.

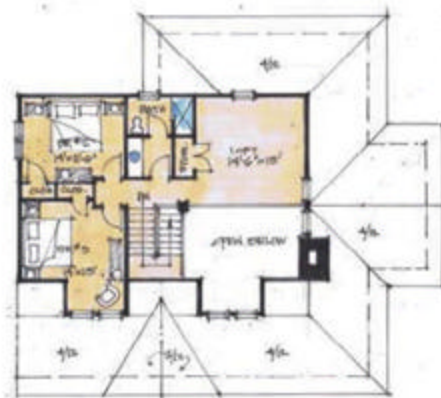


Bedrooms: 3
Baths: 2.5
Square Footage: 2,082

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Second Floor

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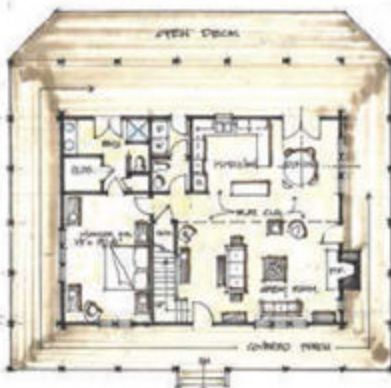
House Mountain

You'll be delighted by the expansive porch that wraps around this entire home. The open concept great room with high ceilings, gourmet kitchen and dining area as well as a spacious master suite are designed for ease of living. Upstairs you'll find a cozy loft and 2 bedrooms and bathrooms, so there's space to accommodate everyone.



Bedrooms: 3
Baths: 3.5
Square Footage: 2,464

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First Floor



Second Floor

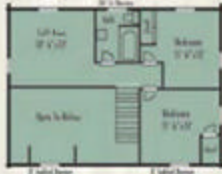
Clearwater



26x36 • 1,586 sq ft
3 bedrooms • 2.5 baths

Complete Package Price
based on Oct. 1, 2014 price list:

\$78,050
RETAIL 6x8 Log



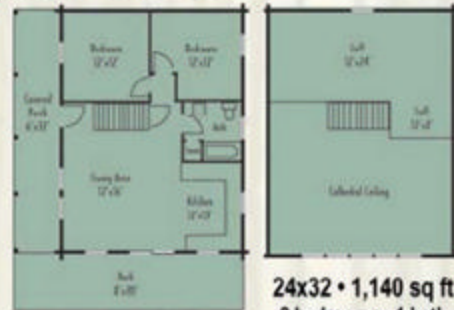
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RETAIL 6x8 Log



24x32 • 1,140 sq ft
2 bedrooms • 1 bath

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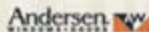


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1st Floor

2nd Floor

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NAVAJO

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Package Price: Call for Pricing

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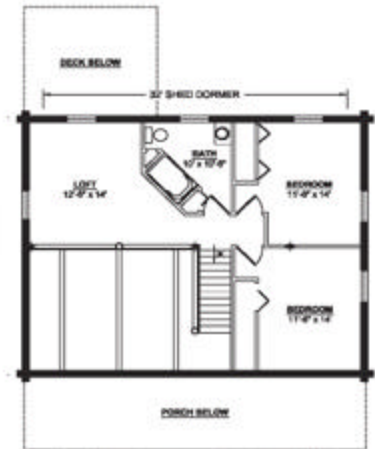
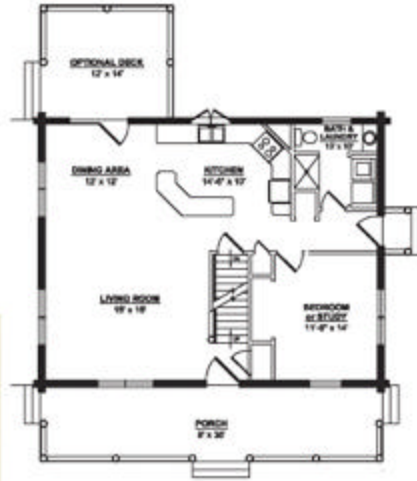



1st Floor

2nd Floor

Rustic Redefined

The Frasure: 1,652 Sq Ft, 3 Bedrooms, 2 Baths

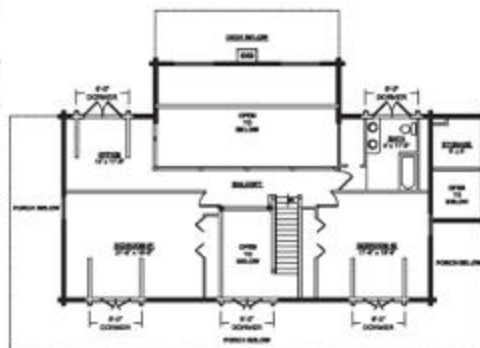


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Main Floor

Basement



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Main Floor

Second Floor



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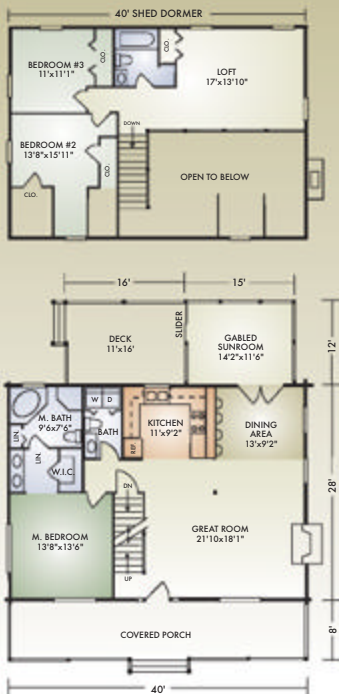
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The Silverado

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Baths: 2

Square Footage: 2,184

Package Price: Call for prices

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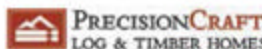
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Handy
kitchen tools
and gadgets.

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— *The* —

LOG HOME UNIVERSITY

An Owner's Manual



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Cowboy Log Homes photo

SMOOTH THE PROCESS

How to plan a successful, stress-free building project. **By Michael Grant**

With detailed planning and a positive attitude, you will ensure that the construction of your new home can proceed with few hitches and avoid going over your budget.

Staying on budget is a major concern of people building their log home. It's also important to have an enjoyable and respectful experience. That begins by understanding the dynamics of the building process. Follow these 11 tips to help plan a smooth experience.

1 ACCEPT THE STRESS. You will have dozens of decisions to make: which tile, tile pattern, tile color, cabinet layout, door style, light fixtures, window grills, wall finishes, stone, granite, etc.? If you enjoy making

these choices, your stress will be lessened. If not, the stress will take out the fun. So engage someone that can help you and appreciate their contribution.

2 STAY CALM. Everyone is excited, so be nice. Be nice to your spouse. Be nice to your children. They, too, are excited about your project and may wish to add their ideas.

3 MAKE MAMA HAPPY. Men that wish to have a happy life will let their wife have her way. This new home is her badge of

honor, her castle, her respite. Make the process more fun by supporting her wishes. (Bonus: Chances are good that if you indulge her, you will get your man cave, too.)

4 BE RESPECTFUL. The people working on your house are craftspeople. They want to do a good job. Should you see something that concerns you, speak to your general contractor about the situation, not to the sub. The best way to get the result you wish to have is through respectful communication.



LOG-HOME SITE LOCATION FAQs

Important considerations for where a log home can be built.

www.loghome.com/log-home-site-location-faqs/

5 NO MONKEY BUSINESS.

That means no doing drugs, drinking on the job, horseplay or anything that makes for an unsafe job-site, jeopardizes quality or breaks the law. The building trades have a lot of “colorful” people, some more professional than others. Should you encounter someone not doing what he or she should be doing, be sure the GC is aware and informed.

6 PAY YOUR BILLS ON TIME.

You’ll keep the project moving forward, plus have an ongoing awareness of costs. You should have no surprises if you keep up with expenses weekly. It also helps to get lien waivers for materials and labor as you pay for them. Those documents are your evidence against a later lien that can hold up your certificate of occupancy.

7 KEEP RECORDS.

This has never been easier than it is today. Your smartphone is all you need to take pictures, send emails and texts, and make notes to yourself. Say you find a great light fixture but are unsure if it will fit either aesthetically or physically in the room you have in mind. Take a

picture, send it to the GC or your spouse and ask. Chances are good you’ll get an immediate answer.

8 SCHEDULE ACCURATELY.

If you have a fixture you want installed in the house, then be sure it arrives on the site just in time. Neither you nor the builder wants it sitting around the site with the chance it will get damaged or disappear before you need it. Likewise, don’t be late. If the electrician is on the site with three rows of scaffolding stacked to hang your antler chandelier 20 feet up, be sure the fixture is on-site. So, talk with the builder and determine when to have it on-site for installation. Good timing helps to get the job done on time.

9 DON’T EXPECT PERFECTION.

It is not going to happen. We are imperfect people. We build with imperfect materials. We have our good days and bad days. The weather, the process, even the planning are not perfect. If you expect only perfection, you will drive yourself and all those around you crazy. What you can expect, however, is a well-built house that is plumb, level and square, a house

that doesn’t leak, an energy-tight house, a house that reflects you and your lifestyle — a home, in other words, that you can be proud of.

10 WORK WITH A PROFESSIONAL TEAM.

Be sure you identify talent and commitment. You must have both to get the house built properly. It also helps to make it an enjoyable process. Don’t be someone’s learning curve. Chances are quite good you have worked a lifetime to be able to afford this house, so be sure you will enjoy it. You deserve it.

11 ONE LAST REMINDER:

You control the cost of your home. Once you have signed off on your construction drawings, arrived at a cost to build with your builder, agreed to the finish-out specifications, identified allowances and considered any add-ons, then you will know what the cost of your new house should be. **U**

Michael Grant designs and builds homes for Modern Rustic Homes (modernrustichomes.com), which represents Jim Barna Log & Timber Homes (barnahomes.com).

Tread on Me

There’s so much more to a log home than the logs. Floors, for instance. Many log-home owners favor wood floors, but it often makes more sense to mix materials according to their look and the type of foot traffic they support. Here are some helpful websites to guide your flooring choices.

SEE MY DESIGN bit.ly/1A8Yb3Z

Offers detailed comparisons, from mar-

ble to laminate to fiber. Easy-to-read chart includes price ranges, durability, degrees of comfort and style highlights.

NATIONAL WOOD FLOORING ASSOCIATION woodfloors.org

Great starting site for hardwood floors. Covers all aspects of hardwood flooring, including help finding a flooring professional to install your choice.

DESIGN BIZ bit.ly/1Gat3mH

If you fancy antique or reclaimed

flooring, here’s info about various types, desirable features and sources. A quick-read overview links to more detailed resources, including articles about flooring in general.

WORLD FLOOR COVERING ASSOCIATION wfcs.org

Unbiased info on all types of flooring. Its Flooring Gallery guides application of various materials in different rooms. A handy locator directs you to a nearby retailer.

Facing the Future

One appeal of log homes is their tradition, but they've survived by changing with the times. Will they remain up-to-date? Experts we spoke with foresee these 13 developments.

1 RIGHT-SIZING WILL CONTINUE.

Log homes started humbly, then swelled but now are regaining their sanity. Well-designed smaller homes are cheaper and faster to build and cost less to furnish and maintain.

2 LOOK FOR A PALER SHADE OF GREEN.

More homebuyers will incorporate eco-friendly provisions but only those that make sense financially.

3 EMPHASIS ON ENERGY EFFICIENCY WILL INTENSIFY.

Homeowners aren't clamoring to get off the power grid, but more are turning to sensible geothermal and radiant-floor heating systems. And more producers are incorporating energy-saving features, from insulated logs to tighter home "envelopes."

4 PROTECTION WILL GET RECOGNITION.

Improving longevity remains the goal of wood-care companies, which are constantly reformulating products based on their actual performance over time and to meet environmental regulations. Big challenges remain educating builders and homeowners about proper application, and balancing cost with quality.

5 RESORTS WILL LURE LOG HOMES.

Weekend homes

slumped during the recession, but rebounding home equity is again stimulating that market. Resort communities with in-place infrastructure that welcome rustic homes will prove popular places to build.

6 CONSTRUCTION WILL REMAIN A SNAG.

Log providers rarely build the homes they sell, and most builders steer clients toward easier-to-build homes.

7 NEW ENTRY POINTS WILL DETERMINE BUILDING MATERIALS.

Instead of beginning the buy-and-build process with log-home companies or log-home builders, more custom-home buyers are starting with designers and builders that may or may not suggest logs.

8 THE DEFINITION OF "LOG" WILL BROADEN.

There's more to log homes than tree trunks. Makers of concrete logs and nail-on concrete bark siding appeal to people suspicious of real wood. A few folks will buy into such alternatives, but most will renew their commitment to having real wood.

9 EXPECT MORE HYBRIDS.

They're popular ways to capture the log-home look and spirit without committing to full-log construction. Besides mixing logs and conventional construction, homes will feature more timber elements and drywall.

10 WATCH FOR LAMINATED LOGS.

Glu-lams have been around for years but for log homes



only on a small scale. Now, a major log-home manufacturer has re-introduced them through its nationwide dealer network and reports lam logs account for 75 percent of its business.

11 MORE EXISTING LOG HOMES WILL COME UP FOR ADOPTION. The market is growing because of greater availability and more buyers wary of building new. Log homes are built to last many years, so used ones in great shape have a long life still ahead of them. Also, expect continued growth in log-home restoration companies and consultants. Best of all for buyers:

easier financing and instant gratification.

12 NEW SYSTEMS WILL CATCH ON. Log homes traditionally offered three basic styles: handcrafted, milled and insulated half-logs. In the past decade, two new forms have emerged: panelized and modular log systems. These pre-fabs minimize construction time and builder errors.

13 FINANCING WILL BECOME LESS RESTRICTIVE. It can't get worse, so the market has to ease some. As it does, however, anticipate mortgage interest rates rising as high as 6 percent.

Ask Professor Rob

Should I share my financial information with a log-home company I'm trying to get the best deal from?

A: Before you can move forward to evaluate designs and compare home producers, you will need to establish a realistic budget. And these companies need to know what price range home you are shopping for. Keeping it a secret won't get you a lower price; it will only get you ignored.

When producers know your budget and what kind of home you're dreaming of, they can make sure the two sides are in sync. If not, they can make suggestions, based on their experience, to bring budget and dream closer together. Logs by themselves do not make for an expensive home. It's all the other options you choose that increase costs. A savvy log producer can help you meet your goal by shaving off some of the bells and whistles. That's possible only if the producer knows your budget. You aren't playing poker, so don't hesitate to lay your cards on the table.

Rob Clutter conducts half-day University sessions at the Log & Timber Home Show and other locations. For a class schedule and to register, visit the website: thelogandtimberhomeshow.com

Got a question for Professor Rob?



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Mountain Log Homes of Colorado/Beaton Photography photo

INTO THE FUTURE

Address these four issues when building your log home. **By Jim Cooper**

Renewable-energy systems are changing the way energy is delivered to log homes, especially now that the cost of solar-generated power is becoming more affordable.

Is there a log home in your future? Here are four things that can affect your plans and some tips for handling each.

MARKETPLACE. While log-home dreams are very personal, the log-home and home-building marketplace has important effects on how those dreams take shape. It affects everything from design features to materials. For a sense of the marketplace, check current magazines and websites. They can give you a good idea of features and trends currently in favor. This will in turn suggest

how easily obtainable they are and how much they will cost. Ideas that don't appear or show up only infrequently will usually be more difficult and costly because there will be fewer people or companies available to make them real. If you can't find examples of an idea for design or construction, ask yourself and others why. You may be onto the next great thing, or there may be very good reasons your idea isn't showing up.

ENERGY. Energy costs and availability continue to play a major role in all types of home construction, not just log.

Consumers and building codes both are demanding greater energy efficiency in their homes. Innovations in heating and cooling equipment are making log homes more comfortable and for less cost. Geothermal and renewable-energy systems are showing up in more log homes. Renewable-energy systems such as photovoltaic panels and wind turbines are changing the way energy is delivered to log homes.

Although the United States is currently experiencing a mini oil and natural gas boom, the trend away from fossil fuels, driven by cost, availability and environ-



5 ESSENTIAL LOG-HOME BUILDING TIPS

Savvy builder Jim Cooper advises how to ensure a hassle-free project.

www.loghome.com/5-essential-building-tips-from-a-pro/

mental and health concerns, has been going on for decades and will certainly continue. Solar-generated electricity has fallen in cost so much in the last five years that it is challenging conventional sources. Log homes are ideal candidates to take advantage of the renewable boom because they are often located in areas with good solar and wind potential. In many areas, incentives such as tax rebates make renewable energy installation very attractive. In planning your log home, talk to energy professionals and pay close attention to trends.

BUILDING CODES. Building codes have changed dramatically in the past decade. First came the consolidation of a number of independent codes into a group of codes designed to eliminate confusion and simplify enforcement. The International Residential Code governs new home construction in the most of the United States. Revised every three years, codes have been trending toward increasing standardization of construction methods, with pro-

vision made for regional differences in energy requirements.

Building codes are changing fastest in the area of energy efficiency. In addition to greater insulation in homes in colder climates, air-tightness requirements are increasing. These are changing the way all homes are designed and built. Log homes are especially affected because of air tightness and insulation levels. Log-home providers are already responding with advanced sealing details.

In very cold climates, insulation requirements may dictate the use of larger diameter logs or even make the use of solid-log construction alone impractical. Hybrid homes that use half-logs on conventionally framed and insulated walls and new log products that include laminated insulation or incorporate an insulation layer allow homebuyers to maintain the log look while meeting the strictest code energy requirements.

THE ECONOMY. While the “Great Recession” may be well behind us, it will

continue to affect home building. Unless you plan to build with cash from your own pocket, expect to see more stringent lending requirements. Accurate appraisals, long a challenge in financing a log home, will be easier because of the growing number of log homes. This is both good and bad. In areas where log homes have been well maintained, look for more favorable appraisals. In areas dominated by poorly maintained homes, expect lower appraisals that can affect the availability of financing.

The future of the log home dream is unfolding right now. While it may be changing, it is still alive, strong and bright for everyone who envisions surrounding themselves with the beauty of wood. **U**

Jim Cooper, a former log-home builder and general contractor, is author of Log Homes Made Easy and The Log Home Project Planner. He is a LEED Accredited Professional and Certified Passive House Consultant.

BE SURE TO GET A LIEN WAIVER

A lien is a legal claim filed against the value of a property to recover the cost of materials or labor that a supplier or worker feels she is owed. Generally, the ownership of property cannot be transferred unless all liens are satisfied. You won't be able to mortgage the home or sell it if a supplier or worker files a lien against your property.

To prevent this circumstance, you should require all subcontractors and materials suppliers to present you with a lien waiver before you make the final payment. This waiver will protect you and could possibly prevent you from paying for something twice in order to get a lien released from your property.



Choose Your Role

Building a log home involves many decisions. One of the most important choices you'll make is whether to build your log home yourself, act as your own contractor or hire a contractor to do the work for you. It's a big decision that needs to be based on how much skill, time and money you have available, and an honest evaluation of your personal motivation. Here are your choices.

Build it yourself. Building your own home can be challenging and rewarding for you and your family, something you will remember for years to come. It can also save you up to 35 percent of the cost of your home. On the other hand, it can require many hours of very hard work and cost more in the end than a professional construction crew would have charged to do all the work for you.

Log homes are perhaps a bit more easily built by do-it-yourselfers than other homes are. Erecting the log walls is usually a simple enough process, and most manufacturers provide plenty of assistance, including construction guides, construction videos and on-site technical assistance.

But don't be fooled into thinking that building a log home is easy. Plenty of very hard work is necessary to build any home, and there are many skills to learn, so you'll want to evaluate your strengths and weaknesses carefully before undertaking a project this large.

You probably shouldn't attempt to build the home yourself unless you are willing to dedicate all of your free time – that includes weekends and evenings – to the project for the next six to 12 months. Also consider

your family. They will all be involved very deeply. Make sure your spouse and children are as committed to the project as you are. If you all can make this commitment, a level of satisfaction and achievement that few people ever realize will be yours.

Become a general contractor. If you are a good planner and organizer, have the skill to manage others who will be working on your home and are persistent in searching out the best value for your money, then you probably have what it takes to be your own general contractor. You will, of course, need a strong working knowledge of construction techniques, the ability to discern good workmanship and the temperament to bring together a diverse group of subcontractors to accomplish a specified goal on a set schedule.

The task requires a considerable number of hours, often in the early morning or the early evening because these are the only times subcontractors might be accessible. It also involves endless hours of running around during the day to gather bids, pick up materials and inspect the work to make sure it meets your standards before you pay for it.

The result of all your effort will certainly be a home that meets your exacting standards. There won't be any surprises because you will have a hand in every decision. More importantly, you will save the amount that a GC would charge for the work, plus profit and overhead. This will usually be 15 to 20 percent of the total job cost.

You may not save as much as you expect, however, because an experienced contractor may be able to



Building your log home yourself, once commonplace, has become a rarity as homes have evolved from camps and cabins to complex, up-to-date houses that meet strict codes.

get lower bids and better prices than you can, although the savings are worth the effort. It's a job you can handle without taking off completely from your regular job, although an understanding boss helps.

Let the pros do the work. It may be that you simply don't have the time or interest in becoming deeply involved in the construction of your new home. You may choose to contract with a professional builder to do all of the work in what is known in the industry as a "turn-key" contract. Your only involvement is to turn the key and walk into a finished home.

Even this course means that you'll still be asked to make hundreds of decisions, from selecting flooring to specifying the quality of hardware. But you won't have to get involved in working with subcontractors and construction management. Selecting a builder can be a demanding enough task, unless you are fortunate enough to work with an authorized builder-dealer representing the producer of your home.

Getting Ready to Build

It's almost guaranteed that you will encounter obstacles outside your control that affect your building schedule. Weather delays, misplaced materials and uncooperative subcontractors are the most common. If you're organized, you can effectively cope with these challenges. Meanwhile, consider these factors.

PEAK SEASON. It's more difficult to get things done in spring and summer, the peak building seasons. This time of year affects prices and availability of contractors, subcontractors, utilities, equipment, materials and materials delivery. Keep the calendar in mind when scheduling your project.

MONEY MATTERS. Time is money, especially when it comes to construction loans. Twenty-six weeks is the average maximum time that banks allow for construction. If you don't finish the project within that time frame, then you'll be paying extra interest on your loan.

COMMUNICATE WITH PLANS.

Construction drawings, or blueprints, are how you communicate with your builder and subcontractors. The more exact and detailed these plans are, the better the execution in the field. Incomplete plans result in poor execution. If each sub has to interpret your plans, you may not get the home you intended. Also, if something is in the plans, your lender and building inspector will expect you to build it. So don't add anything to the plans that won't be part of the house.

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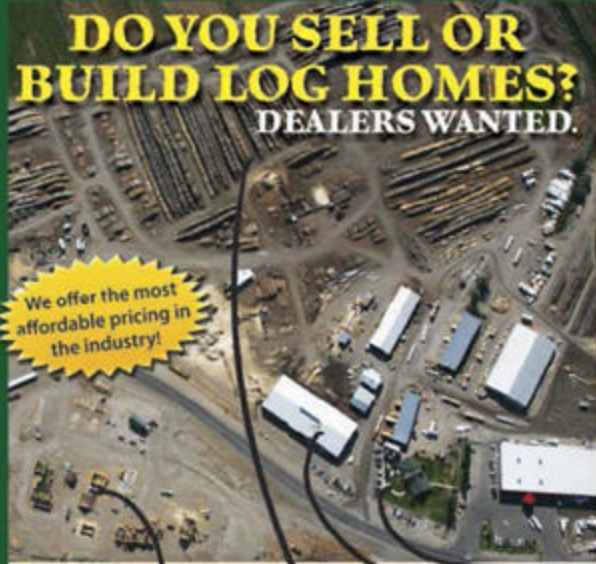




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WHEN THE BUDGET WON'T BUDGE

Living within your means doesn't mean sacrificing quality and style. **By Joyce Standridge**

One of the more relevant clichés about planning for life in a log home is: “Everyone is on a budget. It’s just a question of how large that budget is.”

While those blessed with a healthy bottom line are less constricted by price tags, most people contemplating a log home have to pay attention to such matters. Knowing how many zeros can be added to the first numeral on a check often dictates just how far you can un-

leash your imagination and selection. Even when allowing for the ubiquitous 10-percent overage allowance on the construction side, homeowners often find that their decor budget gets pinched since furniture and accessories are usually the last items purchased for a new home.

So does penny-pinching in the end mean leaving empty spots around the house until the coffers are replenished? Or making a trip to the discount warehouse furniture store? Even rummaging

Simple yet attractive furnishings can perk up your decor and have the added advantage of being reasonably priced. Even better if you choose a look that never goes out of style.

in Mom’s attic for overlooked treasures? It ain’t necessarily so. Consider these points.

DEFINE STYLE. We are lucky to live in an age where almost any type of style is welcomed. As long as a home is clean, functional and organized, the label attached to the appearance is highly individualized. Certainly, there is more enthusiasm currently for Mid-Century Modern among those who deem trends important (and changeable), but for the



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majority who cannot change styles on a whim (or on a regular basis), traditional pieces will stretch a budget farther. Larger furnishings also tend to be the most financially demanding, so purchasing pieces that can't be identified as belonging to only a single, certain style makes sense. In saving money within those parameters, bear in mind that simpler pieces are usually most reasonably priced. While there may be greater initial outlay for quality design and materials, in the long run, it is wiser to invest in that manner, particularly when using never-goes-out-of-style earth tones and naturally based material.

DETERMINE A LAYOUT. If a budget won't stretch as far as necessary to create a picture-perfect layout, be flexible. Because log homes have such a sense of timeless beauty, it's not necessary to reach the goal the first time the key turns the lock. If the major building blocks of fur-

niture pieces are in place, try rearranging them into locations other than originally planned. Furnishings that occupy space away from walls tend to appear larger and take up more space, especially when they affect traffic flow. This can fool the eye into thinking there's more here than meets the eye. If a room still seems empty, this is the point at which raiding Granny's attic or checking out a discount store can provide at least a temporary fix. Old pieces nearly always also establish conversational starting points, and a genuine antique will add character to a setting. If real antiques are not available or affordable, then strategic shopping can be helpful. Low prices don't always add up to kitschy or clumsy. A good bargain is still good, even if the goal is just to find a temporary stand-in until the budget recycles.

ADD ACCESSORIES. This is the point at which budgets are usually less defeating when finalizing a design plan. If you

have chosen neutrally toned, traditional backdrops, then a budget may not even be constricting. Collections gathered over a period of time, especially items that can be scattered about a room or home, offer the opportunity to make a statement (which is always stylish) or establish the groundwork. Flea markets, auction houses, little shops tucked away in rural areas can be gold mines when it comes to establishing or growing a collection of items or wall art that create flair, as well as style.

Homeowners need not panic, even when the budget has appeared to negatively impact the effort to orchestrate a stylish appearance on a home. As with any element of a home, avoiding trends (which is a word that has supplanted "fad" but without the occasional silliness that goes with that term) and patiently working toward a goal can reap rewards. And that approach never goes out of style. **U**

GET THE APP AND SAVE YOUR BACK

Sure, you *could* just move the furniture of your home around until you find a look that works, but instead, why not let one of these interior-design apps do the heavy lifting for you? Easily lay out rooms in 2-D and then see them come to life with 3-D models and virtual tours.

Mark on Call markoncall.com

Room Planner roomplanner.chiefarchitect.com



Bear Necessities

Nothing creates lifelong memories of time spent at Grandma's house like staying up past bedtime telling ghost stories and giggling with cousins. So if you're planning on hosting family gatherings in your log home — and we bet you are — a bunk room is a near necessity. Choosing a theme for the room will make an even bigger impression on your overnight guests (of all ages). **By Edie Mann**



Roger Wade photo



1. National Geographic honey bear table lamp with bell shade by Pacific Coast Lighting, \$219 (wayfair.com). 2. Hudson Bay 6-point blanket, scarlet with black stripes, by Woolrich, \$292 (amazon.com). 3. Area rug by Southwest Looms in "Storm Cardinal" (SW-10), available in multiple sizes (southwestlooms.com). 4. Old Faithful hickory night chest, \$800 (blackforestdecor.com; 800-605-0915). 5. Old Hickory deacon bench with twig back, \$1,500 (blackforestdecor.com; 800-605-0915). 6. Twin-over-twin barnwood bunk beds with bear carvings, \$2,000 (blackforestdecor.com; 800-605-0915). 7. Club chair (#1261) and ottoman (#1263) from La Lune Collection, available in many finishes and fabrics. Chair starts at \$1,457; ottoman at \$686 (lalunecollection.com; 414-263-5300). 8. Fireside Lodge hickory floor lamp with shelf, \$380 (wayfair.com).



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Fred Hansen photo

THE HEIGHT OF THE MATTER

Here's the lowdown on tall spaces.

By Mercedes Hayes

A log home with cathedral ceilings and a two-story great room looks fabulous, but there are trade-offs to consider when living inside of one. If you are a neat-nick, you will probably drive yourself crazy. I, on the other hand, am a casual housecleaner; I like things tidy but don't overexert myself. Nonetheless, I'm embarrassed to admit that after 12 years in our log home, there are some places that have only been cleaned a few times. Frankly, we just can't get to them.

Did I know we would have a problem? Most likely. I kind of looked the other way.

Alas, things got very real even before the house was finished.

The first challenge was the great room ceiling, which is 23 feet at the peak. I spent a lot of effort pre-staining the tongue-and-groove planks, only to come home and see the guys had cleverly used them on the easy-to-reach places. No time to get ahead of them again, so the highest planks went on unstained. Have you ever tried to climb scaffolding over 16 feet high? It shakes — not for the faint-hearted (myself). My long-suffering husband had to hang onto the chandelier wire for support as he stained the ceiling.

High ceilings add to the splendor of log homes, but they also pose challenges to homeowners who intend on cleaning and maintaining the home's upper regions.

But we weren't finished. We caulked between all the log courses, then had to caulk where the logs met the ceiling boards (for draft control). By then, the scaffolding was gone and we had to use a long extension ladder, taking care not to break the oversized windows, the chandelier on chains and the two ceiling fans. Oh, and these last-referenced objects are also very high off the floor. You can't reach a chandelier with an extension ladder. It wasn't until our house's 10th birthday that we rented a huge A-frame ladder and finally dusted the chandelier and ceiling fans, making



LOG-HOME MAINTENANCE FAQs

Answered by Log Home Living's own editor, Roland Sweet.

www.loghome.com/log-home-maintenance-faqs/

sure to replace all the light bulbs and wash the glass shades.

We used full-round logs for our house, which I still do not regret, but they do get dusty. I can reach them from a regular ladder with a vacuum cleaner all the way up to about 16 feet. Above that? I'll be cursed if I drag a vacuum up a huge extension ladder. Forget about it. Luckily, you can only see the dust from above. The same thing applies to my high, fixed windows, which are over 6 feet square. I can place my ladder against the sill and wash the window with a squeegee on a stick. Forget about catching all the streaks; I'm lucky to reach the top of the window. When leaning my body against the glass, I find it impossible to get a good angle with the squeegee. The alternative is getting a bigger ladder to place above

the window but then risk breaking chandeliers, fans, etc. At least on the outside, I can use the hose.

Oh yes, the outside. Ladder work is the name of the game. You'll put on the stain and caulk the checks (or between the log courses) from a tall ladder, and stain again in a couple of years. It's a filthy job. Up and down, down and up. You can't pressure-wash those second-story logs because you are washing from underneath; the dirt is on the top. You'll need to use a mop or brush and scrub them. Dormers are particularly annoying if they are placed in an inaccessible spot, like ours (above a pergola). And — you guessed it — they are about 23 feet or so off the ground.

A proper roof overhang will extend at least 2 feet from the house. But when

painting the fascia board, where does the ladder go? You can't put it against the wall or the dormer, because the fascia is behind you at that point. Do you lean the ladder against the fascia, which can be angled down as much as 45 degrees? Yes, but you had better know what you are doing with that ladder. During construction, we used a boom lift to paint all the fascia boards and stain the top courses of logs, which was incredibly expensive to rent. But at least we could take our time and do it right — the first time.

Bottom line? If you want to build a log home for retirement or if you are afraid of heights, seriously consider single-floor living. If you want that second level, maybe you should go down (walk-out basement) rather than up. **U**

4 Steps to Protect Your Logs

Maintenance-wise, a log home's first two years are the most crucial. It's when most log movement occurs, while the home settles. Shrinking logs may create moisture traps at horizontal seams, overlapping corners and joints around windows and doors if they are not properly sealed. Here are four ways to assure protection.

1 CHECK ALL THE WALLS, NOT JUST ONE OR TWO OR THREE. The southwest-facing corner of the home is usually the first place where protection weakens, because it is exposed to more sun, so give it better than a once-over.

2 PAY PARTICULAR ATTENTION TO EXPOSED LOG ENDS, especially if your roof doesn't completely overhang them. They bear the brunt of the weather.

3 LOOK FOR CRACKS, CALLED CHECKS, IN LOG SURFACES, particularly upward facing ones. They appear when the outer layer of your log dries faster than its core. Checks are

common but should be filled and then caulked, to eliminate water from being drawn deeper into the wood, where more serious problems can develop.

4 PATCH GAPS IN CAULK AND CHINKING PROMPTLY. Re-caulk and re-chink completely as often as necessary to ensure the sealing materials are performing to their maximum capacity. Any moisture that gets caught behind a hole in caulking or chinking may not evaporate as quickly as it should, making the wood vulnerable.



Cindy Thiede photo

Corners and exposed log ends are particularly vulnerable to weather damage but relatively easy to protect.

Fix Problems Promptly

It's wise to keep ahead of maintenance rather than play catch-up. That means checking the condition of your logs regularly. When you do notice something amiss on your exterior, you will have to evaluate whether a touch-up is required or it's time to re-do the whole house. Try spraying the house with a garden hose. If the water still beads up over most of the log surface, your protection is good. Wherever it doesn't bead up and soaks into the wood instead needs protection fast.

CLEANING THE LOGS AND REAPPLYING A PRESERVATIVE OR FINISH is a chore you may be able to handle yourself. Doing so might seem more trouble than it's worth, but you at least will be able to assure yourself that the job has been done properly. If you are buying a relatively new existing log home, you will be instituting your own maintenance program in case the previous owner wasn't as careful as you intend to be.

DON'T HAVE UNREALISTIC EXPECTATIONS, however. No log

will keep its original hue. That's the beauty of a natural material. Although you can never restore your logs' original beauty, you can come close, provided you haven't been too neglectful over the years. Vigilance and diligence can keep the weather from interfering with the natural lifespan of your log home. That way, you also won't have to worry about the few but constant threats to your logs. The resulting peace of mind will allow you to enjoy your new home even more, knowing it will stand strong and solid for generations to come.

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Randy the Handyman

What's the most important part of applying new wood finish over old?

A: Don't apply new product over old. Get rid of the old, as well as any surface contaminant. To ensure thorough protection, apply the new wood finish over clean wood.

Cleaning wood isn't just a cosmetic process. The goal is to remove all traces of the old coating. You can achieve this with wood cleaners, strippers and machinery.

A very effective cleaner is household bleach, but there are other products formulated for cleaning wood.

Chemical strippers are more aggressive treatments, intended to remove visible stain or preservative residue that will inhibit adhesion or penetration of new products. Any of this residue that the stripper won't remove will have to be sanded clean and smooth.

Pressure washing, sandblasting, corn-blasting or glass-blasting are common mechanical techniques. Each has advantages and disadvantages, but use caution to ensure than you clean the wood without damaging it or disrupting the seals between logs.

Once you've cleaned the logs thoroughly, then proceed with whatever stain or coating you desire, again making sure to follow instructions to the letter. You'll find many more maintenance tips and articles on our website. Go to loghome.com/log-home-maintenance.

Got a question for Randy the Handyman?

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CHORE HANDLERS

A grab bag of appliances and gadgets will boost every gourmet's repertoire.

Kitchens are every home's workplace. Time was, you needed elbow grease to tackle the tasks that befell cooks, who were almost always women. Progress has lessened the effort, and in many homes, men have realized that the kitchen is their place, too. Companion cookery is especially prevalent in log-home kitchens, which tend to be large, open and inviting.

With all these changes, you'd think by now that there couldn't possibly be new tools of the trade. Oh, how wrong you would be. Progress never stops. Whether stored out in the open or tucked away on a pantry shelf for rare but special occasions, plenty of appliances and gadgets are available to lighten the workload, and possibly make cooking even more of a joy. Here are a few choices. **U**

RANGE

Aga Legacy

This top-of-the-line European range blends classic looks with modern features. A versatile gas cooktop (natural gas or liquid propane) and flexible electric ovens indulge those with the highest culinary standards. The 44-inch model shown features 2.4 cu. ft. of capacity, three oven racks, a roasting tin and a convenient storage drawer that's the perfect place to store baking trays, saucepans and kitchen towels.



BLENDER

Ninja Professional

This high-powered innovative tool matches a sleek design and outstanding performance. Perfect for ice crushing, blending, pureeing, and controlled processing, it's a true asset in any kitchen. The Ninja Pro boasts 1,100 watts of crushing power and features three speeds plus pulse. It comes with a 72-oz. pitcher with blade and lid, and two Professional Nutri Ninja Cups for efficient vitamin extraction.

Handy Helpers

Avocado Slicer



Oxo's all-in-one tool splits, pits and slices avocados safely. The pitter works with an easy twisting motion, and the slicer removes fruit from skin in perfectly even slices. It features a comfortable, non-slip grip and is top-rack dishwasher safe.

GRILL

5-in-1 Griddler

Cuisinart's Griddler offers five cooking options. A floating cover and one set of reversible plates that snap in and out turn the Griddler into a contact grill, a panini press, a full grill, a full griddle or a half grill-half griddle. Dual temperature controls ensure everything is perfectly cooked.



Kitchen Claws

From KitchenReady, these versatile tools guarantee perfect pulled pork and shredded meat. They're also handy for holding roasts while carving or for carrying hot pans from the oven.



RICE COOKER

Aroma Digital

The Cool-Touch Rice Cooker and Food Steamer prepares 4 to 20 cups of any variety of cooked rice, and even steams meat and vegetables while rice cooks below. It features easy-to-use, programmable digital controls with a 15-hour delay timer for flexible meal planning. Steam tray, measuring cup and serving spatula are included.



Strawberry Huller

From Chef'n, the stainless-steel StemGem makes short work of prepping fresh berries. Just insert, twist and remove the stem. Also cores tomatoes and other soft produce.





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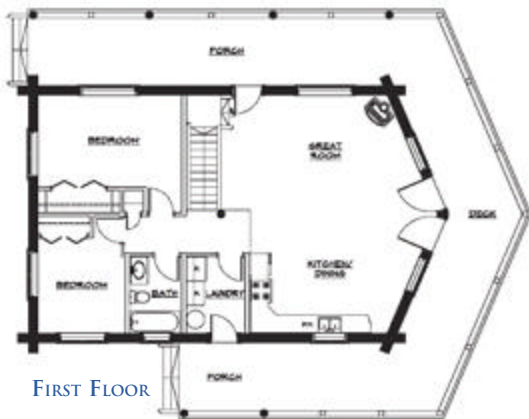
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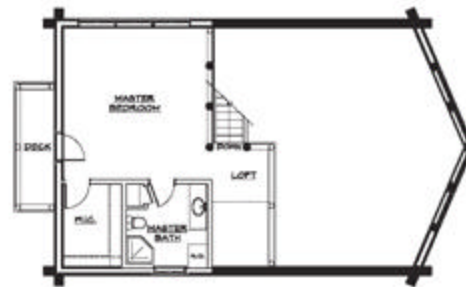
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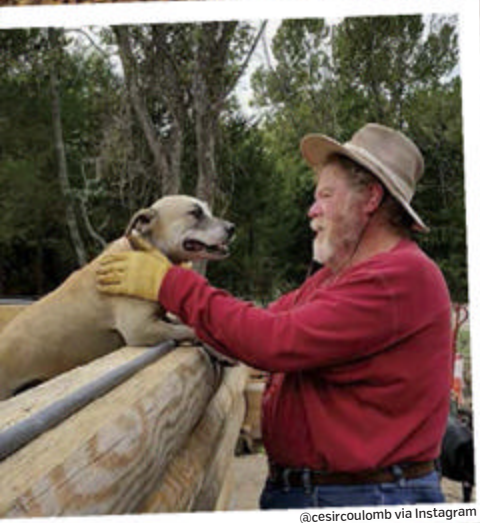
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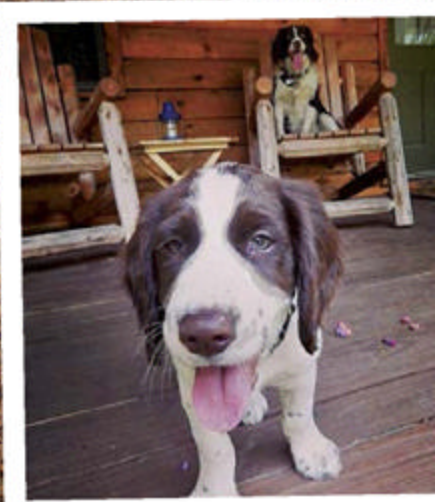
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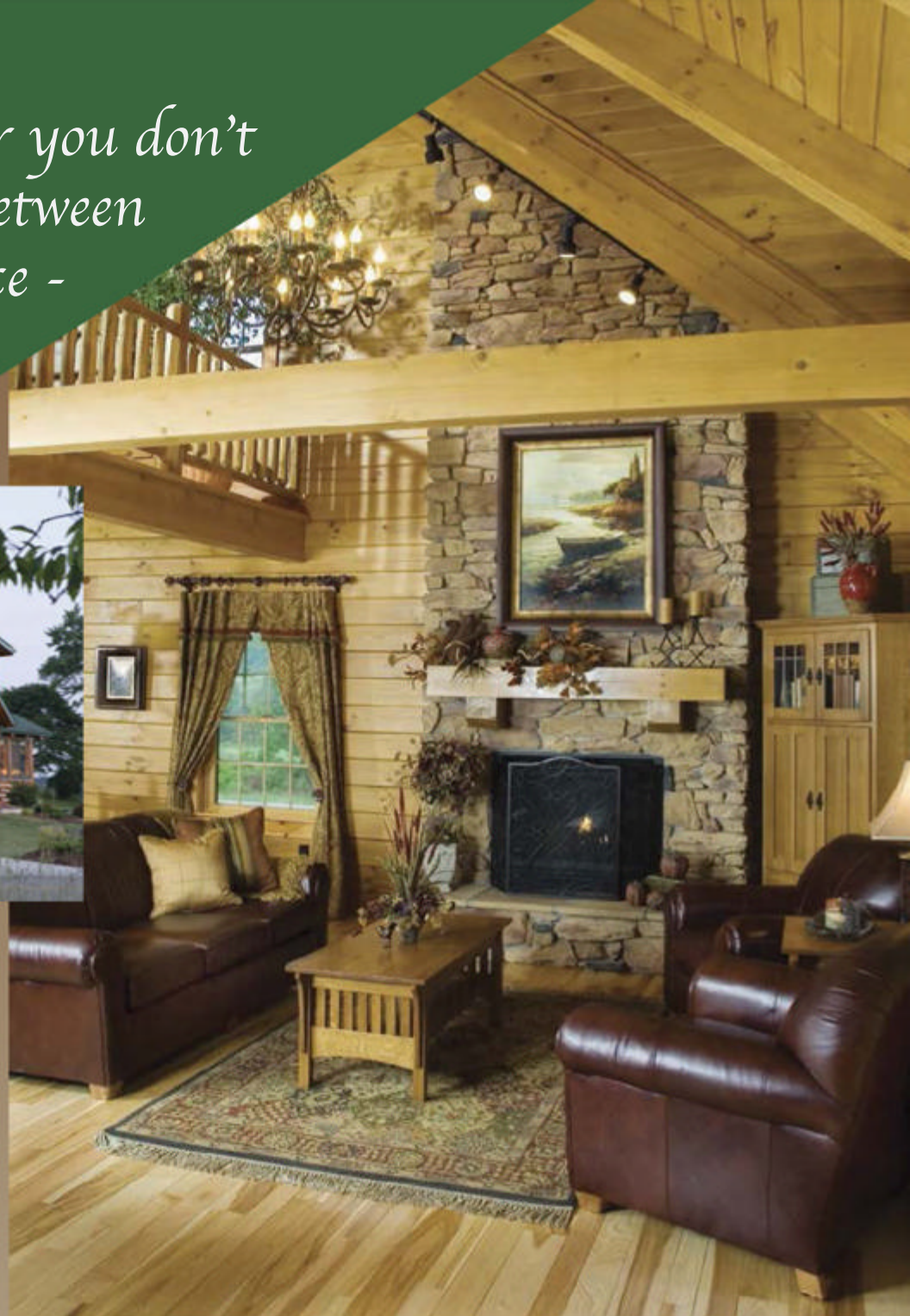
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